SITE DEVELOPMENT

FOR CONVERSION OF



UNIT # _____ ~ 2448 CAROLINA BEACH ROAD, WILMINGTON, NORTH CAROLINA

PREPARED FOR: WAFFLE HOUSE, INC. **5986 FINANCIAL DRIVE** NORCROSS, GA 30071

JUNE 22, 2013 LATEST REV. OCTOBER 11, 2013

J-24549

PREPARED BY:



Savannah, GA | Brunswick, GA | Charleston, SC | Myrtle Beach, SC | Wilmington, NC

VICINITY MAP - 1" = 600'

SHEET NO. DESCRIPTION			
GID	B	COVER SHEET & GENERAL NOTES	
CID	B	DEMOLITION PLAN	
ය න	B	SITE LAYOUT	
C3.0	A	DETAILS	
C3.1	A	DETAILS	
L1,0	B	LANDSCAPE PLAN	
L2,0	B	LANDSCAPE DETAILS	

SUBMITTAL HISTORY	
SUBMITTED TO	DATE

- THIS PROJECT IS NOT A NEW DEVELOPMENT BUT RATHER THE CONVERSION OF A FORMER RESTAURANT TO A NEW RESTAURANT IN THE SAME BUILDING (220 SF REDUCTION OF BUILDING
- WORK UNDER THIS CONTRACT WILL REQUIRE THAT PORTIONS OF EXISTING PAVED SURFACES SHALL BE REMOVED AND REPLACED CONTRACTOR SHALL BE REQUIRED TO PROTECT HIS WORK FROM STORMWATER RUNOFF CONTRACTOR SHALL ALSO BE REQUIRED TO INSTALL ALL SUCH BEST MANAGEMENT PRACTICES AS ARE REQUIRED TO PREVENT THE TRANSPORT OF SEDIMENT, DEBRIS, ASPHALT OR

ASPHALTIC SEAL COAT EITHER INTO EXISTING

STORM DRAINS OR OFF THE OWNER'S PROPERTY.

Public Services • Engineering Division

PROVED STORMWATER MANAGEMENT PLAN

Signed:		
Approv	ed Construction	on Plan
ing.	<u>Neme</u>	<u>Date.</u>
: Utilities		

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WAFFLE	HOUSE,	INC.
	APPROVALS ——	

Month Carolina
One Call Center
Call Before You Di

PROJECT No. SHEET No. WAFXXX DATE: 06/22/1

GENERAL NOTES:

CONSTRUCTION.

NOTIFY OWNER OR OWNER REPRESENTATIVE.

SURVEY NOTES

HAZARD ZONE X.

I. TAX MAP NO. (PARENT TRACT): R06018-005-010-000

SHOWN ARE GROUND DISTANCES, NOT GRID DISTANCES.

CO. AT THE TIME OF THIS SURVEY.

8. DEED REFERENCE: D.B. 4586, PG. 0983

RESTRICTIONS OF RECORD

UTILITIES & AGENCIES:

WILMINGTON, NC 28403

<u>POWER:</u> DUKE ENERGY PROGRESS

WILMINGTON, NC 28403

NATURAL GAS: PIEDMONT NATURAL GAS

1451 MILITARY CUTOFF ROAD

910-332-6620

800-452-2777

PO DRAWER 4489 WILMINGTON, NC 28406

<u>WATER AND SEWER:</u> CAPE FEAR PUBLIC UTILITY AUTHORITY

235 GOVERNMENT CENTER DRIVE

SIGNATURE AND EMBOSSED SEAL OF THE LAND SURVEYOR.

2. ACCORDING TO F.I.R.M. MAP NO. 3720312600J, PANEL 3126, REVISED

3. COORDINATES AND DIRECTIONS SHOWN ON THIS SURVEY ARE BASED ON

4. THIS SURVEY IS VALID ONLY IF THE PRINT OF SAME HAS THE ORIGINAL

5. A TITLE SEARCH WAS NOT PERFORMED BY THOMAS & HUTTON ENGINEERING

6. THE PROPERTY PLATTED HEREON IS SUBJECT TO ALL EASEMENTS AND

9. THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS

SURFACE MARKINGS AND SHOULD BE CONSIDERED APPROXIMATE.

BASED UPON THE LOCATION OF SURFACE APPURTENANCES AND/OR

Development Services Center

TELEPHONE (910) 798-7308

305 Chestnut Street

230 Government Center Dr. Suite 170

SITE PLAN REVIEW:
CITY OF WILMINGTON PLANNING & ZONING

Wilmington, North Carolina 28403

Wilmington, North Carolina 28401

04/03/06, THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN FLOOD

NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD83). DISTANCES

- 1. NO CERTIFICATION OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED AND ACCEPTED BY OWNER, ENGINEER & CITY OF WILMINGFTON.
- 2. ALL CONSTRUCTION TO COMPLY WITH FEDERAL, STATE & CITY OF WILMINGTON STANDARDS.
- 3. NOTIFY WILMINGTON CITY INSPECTOR 48 HOURS BEFORE BEGINNING OF EVERY PHASE OF
- 4. CONTRACTOR SHALL VERIFY ACCURACY OF TEMPORARY BENCHMARKS PRIOR TO USING THEM FOR
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS. CONTACT NC ONE CALL (PH: 800-632-4949). THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING DIGGING OPERATIONS. IF UTILITIES OTHER THAN THOSE SHOWN ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE STEPS TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE.
- 6. THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.

DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR.

- 7. APPROVAL OF PLANS DOES NOT AUTHORIZE GRADING OR ANY OTHER DISTURBANCE TO ADJACENT PROPERTIES. IF FIELD CONDITIONS WARRANT OFF-SITE GRADING OR DISTURBANCE, CONTRACTOR SHALL
- 8. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO STATE AND LOCAL CODES.
- 9. CONTRACTOR TO SUBMIT ALL SITE CONSTRUCTION SHOP DRAWINGS TO OWNER OR OWNER REPRESENTATIVE FOR APPROVAL. ANY SUBSTITUTIONS OR REVISIONS TO MATERIALS OR CONSTRUCTION METHODS SHALL BE APPROVED BY THE OWNER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTION.
- IO. CONTRACTOR SHALL REFER TO LAYOUT PLANS FOR THE LOCATION AND DIMENSIONS OF PROJECT.
- II. CONTRACTOR TO PROVIDE ALL EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL AUTHORITIES. REFERENCE EROSION CONTROL SHEETS FOR MORE NOTES AND DETAILS. ALL MEASURES SHALL BE MAINTAINED, REPAIRED AND/OR REPLACED AT THE CONTRACTORS EXPENSE UNTIL PROJECT IS
- 12. DAMAGE TO INFRASTRUCTURE, PUBLIC OR PRIVATE PROPERTY, AND/OR VEGETATION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY CONTRACTOR.
- 13. ANY DAMAGE TO EXISTING PAVEMENT ON ADJACENT STREETS MUST BE REPAIRED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE NCDOT.

- 14. WHERE FIELD INSPECTIONS ARE REQUIRED BY THE CITY, STATE AND/OR ENGINEER THE CONTRACTOR SHALL NOTIFY THE ENGINEER A <u>MINIMUM OF 48 HOURS</u> IN ADVANCE TO SCHEDULE SUCH INSPECTIONS.
- 15. A COMPLETE SET OF APPROVED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE TO THE OWNER, OWNER'S REPRESENTATIVE, TOWN OF CITY OF WILMINGTON, NCDOT AND/OR NCDENR PERSONNEL AT THEIR REQUEST.
- IG. ANY REVISIONS DURING CONSTRUCTION WHICH ALTER THE SITE LAYOUT, CONSTRUCTION METHODS, OR DRAINAGE MUST BE SUBMITTED AND APPROVED IN WRITING BY THE ENGINEER.
- 17. REFERENCE PLAN AND DETAIL SHEETS FOR ADDITIONAL NOTES.
- IB. A PRE-CONSTRUCTION MEETING WITH NCDOT MUST BE HELD PRIOR TO BEGINNING ANY WORK IN PUBLIC RIGHT-OF-WAY
- THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD-13 COFW TECH STDS]
- 20. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 COFW TECH STDS]

19. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE

- 23. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- SECTIONS SHALL BE REPLACED.
- 25. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- 26. ALL PAVEMENT MARKINGS REGULATING DIRECTIONAL TRAFFIC FLOW SHALL BE THERMOPLASTIC.
- TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE ECORDING OF THE FINAL PLAT. [SD 15-14] COFW TECH STDS1
- 28. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE

<u>SITE DATA:</u>

STEPHEN T. WILLIAMS

433 ROSYLN ROAD

WINSTON-SALEM, NC PHONE -THOMAS & HUTTON ENGINEERING CO. 215 S. KERR AVE., UNIT B

PHONE - (910) 332-3400 CONTACT: JACK D. REEL, P.E., LEED AP CURRENT ZONING: CS

TOTAL TRACT CONTAINS 0.817± ACRES, 35,597 S.F. PORTION OF TAX PARCEL ID R06018-005-010-000

EXISTING BUILDING AREA = 2,907 S.F. PROPOSED BUILDING AREA = 2.864 S.F. MAXIMUM BUILDING HEIGHT ALLOWED = 35', EXIST. & PROPOSED BLDG. HT = 18' IMPERVIOUS SURFACE (BLDG. & PVMT.) EXISTING ON SITE = 30,736 S.F. (86%)

TOTAL IMPERVIOUS REMOVED = 5318 SF TOTAL IMPERVIOUS REPLACED = 4142 SF

IMPERVIOUS SURFACE (BLDG. & PVMT.) PROPOSED ON SITE = 29,560 S.F. (83%) REQUIRED PARKING SPACES: BUILDING AREA = 2,864 SF - 490 SF (KITCHEN & BATH) = 2,374 SF GFA

MAX. SPACES = 2,374 SF/65 SF = 36.52 = 37 SPACES MIN. SPACES = 2,374 SF/80 SF = 29.69 = 30 SPACESEXISTING PARKING SPACES: = 33 SPACES PARKING (DIMEN. VARY) <u> HANDICAPPED (9'x19')</u>

IOIAL	- 0+ 31 AOLS	
PARKING PROVIDED AI	FTER IMPROVEMENTS:	
REGULAR	= 34 SPACES	
<u>HANDICAPPED</u>	= 2 SPACES	
TOTAL	= 36 SPACES	BICYCLE SPACES
MINIMUM SETBACKS FRONT -35'	<u>PROPOSED SETBACKS</u> FRONT -42'	PROVIDED= 5

REAR - 129'

CAMA LAND USE CLASSIFICATION - URBAN TOTAL LAND DISTURBANCE ON PROJECT SITE = 14,734 SF = 0.34 ACRES TREES REQUIRED = 15/ACRE = 0.34 X 15 = 5 8 TREES PROVIDED

SIDE - 25' & 76'

21. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.

22. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.

24. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY APRON PANELS, AND CURB & GUTTER

27. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED

SPECIAL NOTES

	Signed:	
	Approved Construction	n Plan
	Name_	Date
Pleni	ning	
Publi	c Utilities	
Treff		
1		

WAFFLE HOUSE, APPROVALS	INC.
SIGNATURE	DATE
SIGNATURE	

SIGNATURE

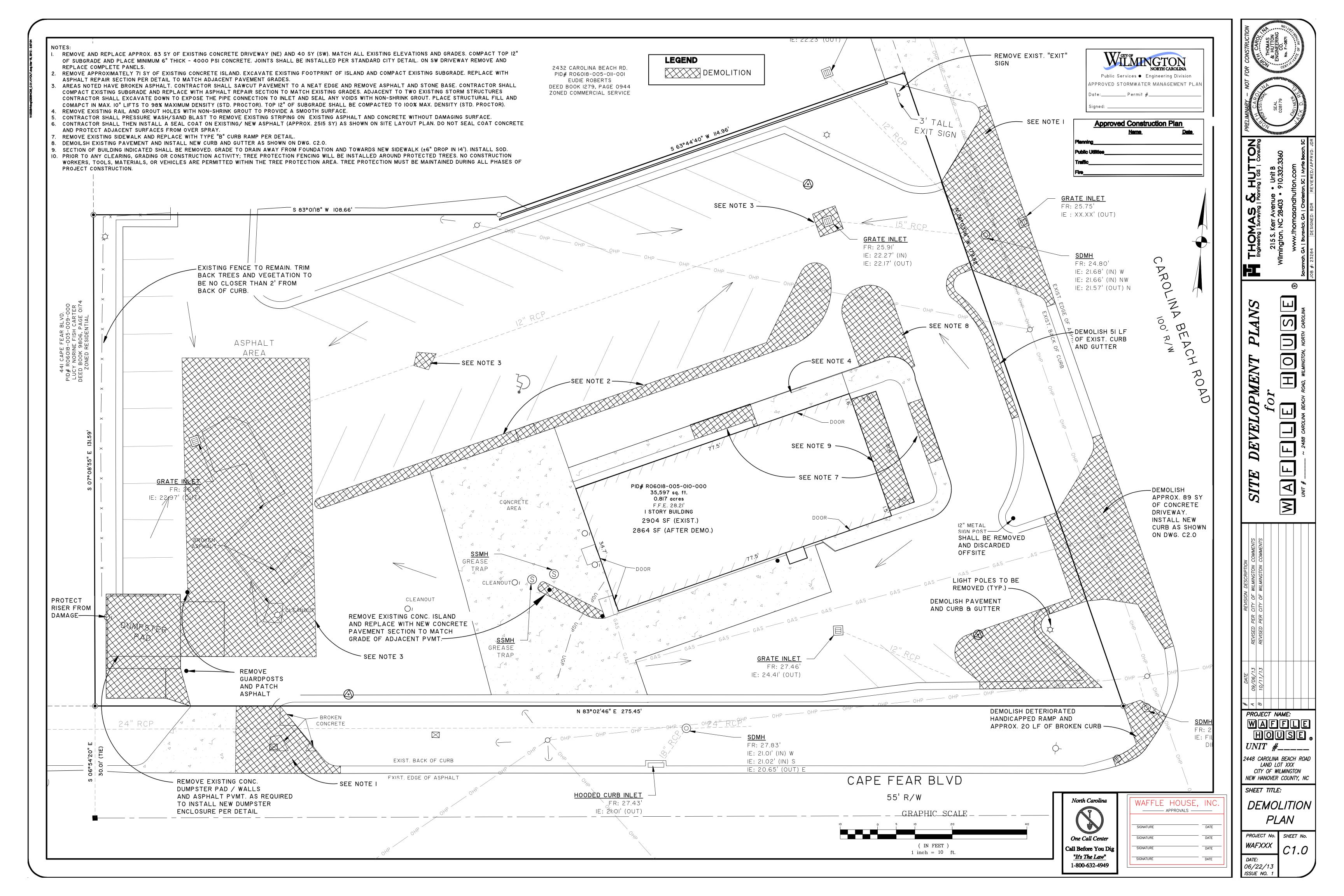
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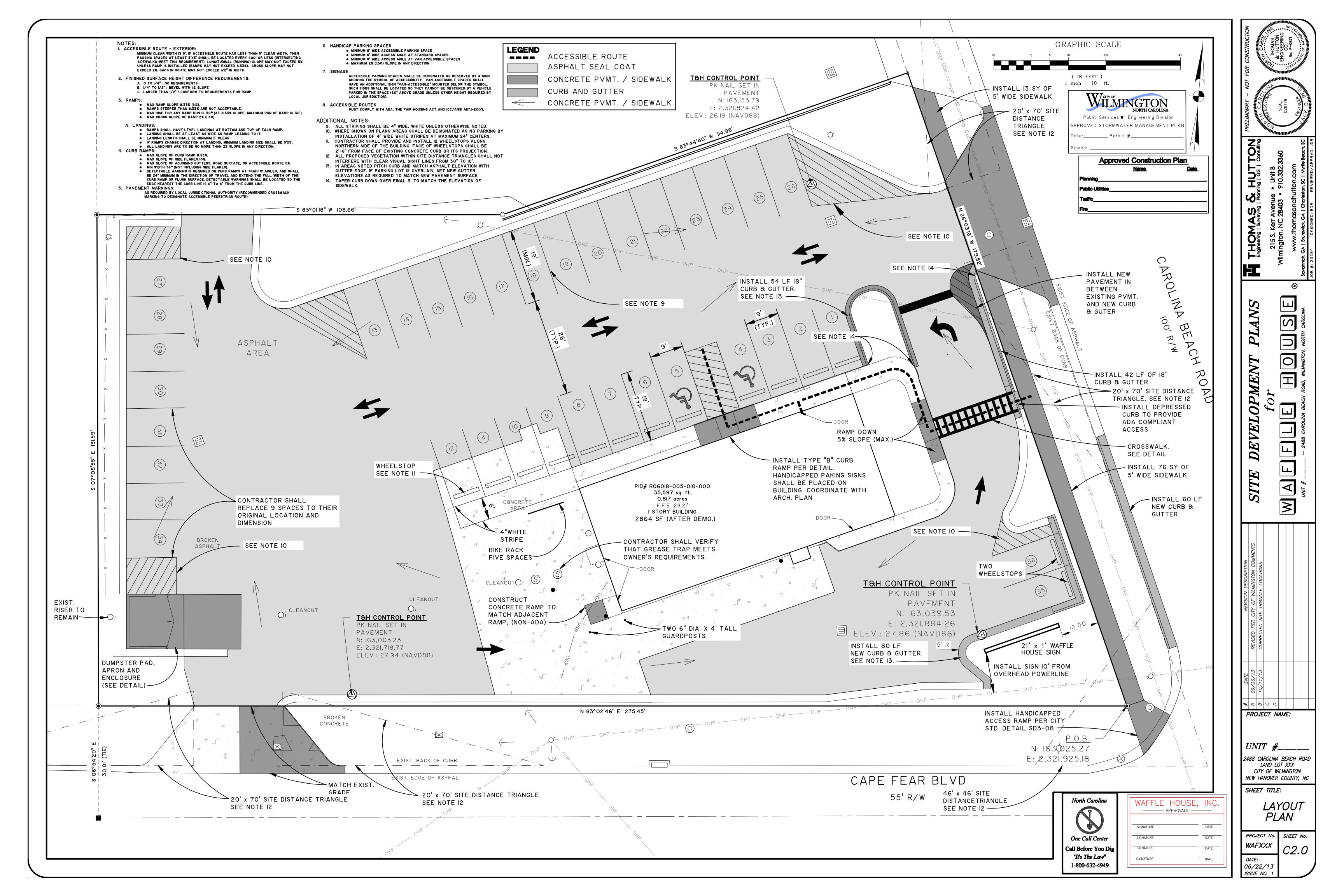
1-800-632-4949

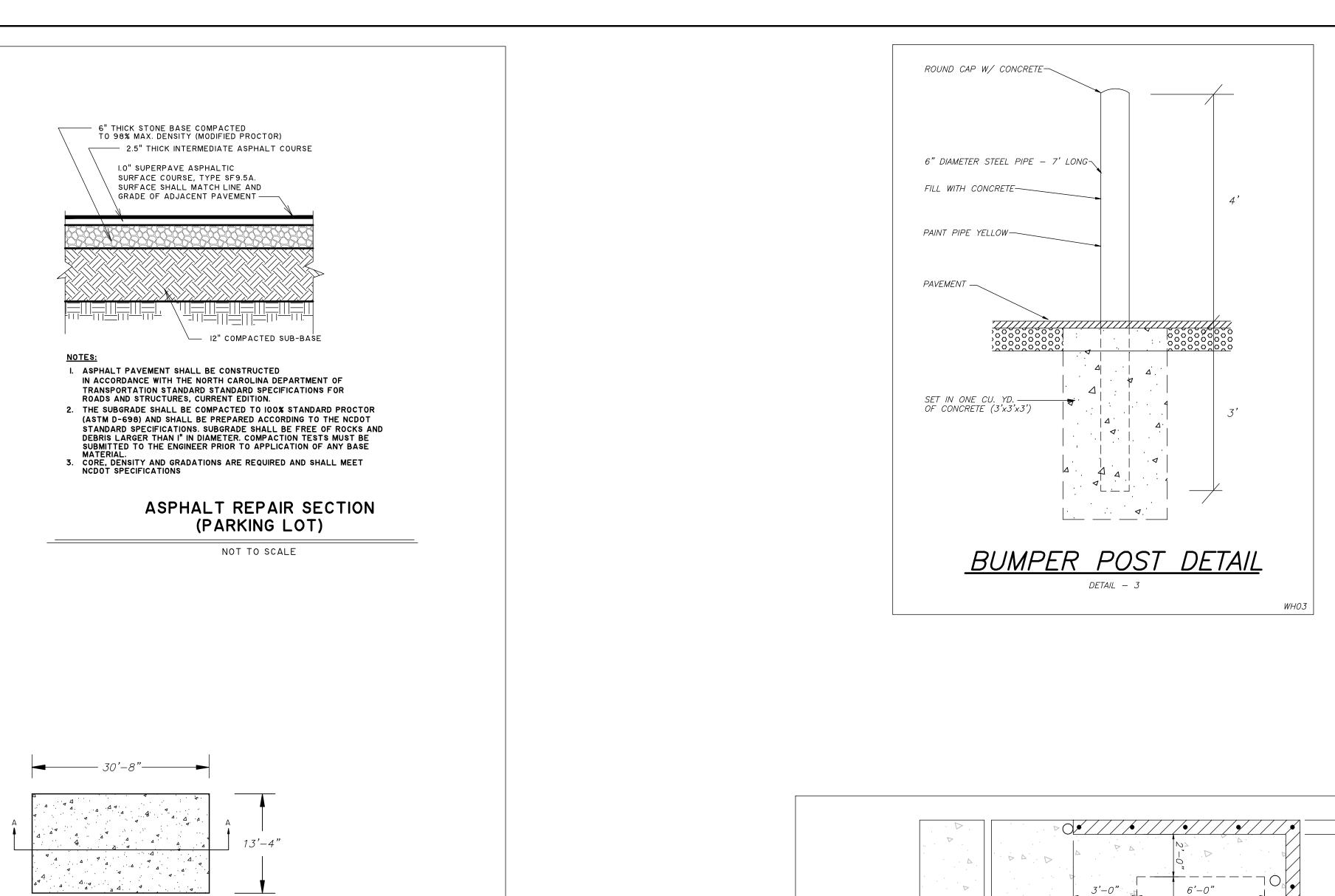
SHEET TITLE: "It's The Law"

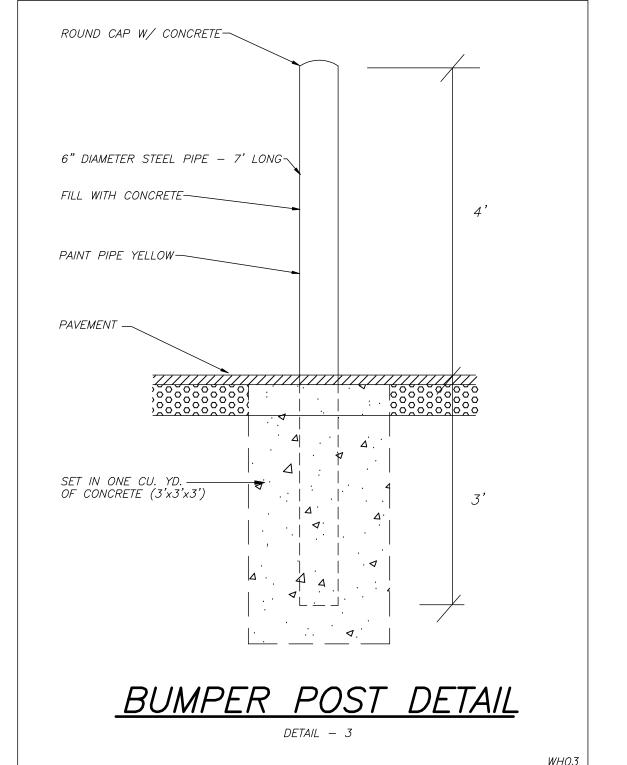
PROJECT NAME:

2448 CAROLINA BEACH ROAD LAND LOT XXX CITY OF WILMINGTON NEW HANOVER COUNTY, NC COVER & GENERAL

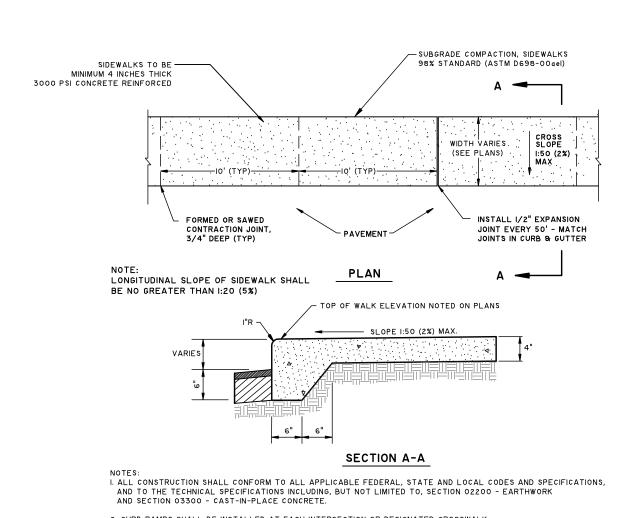








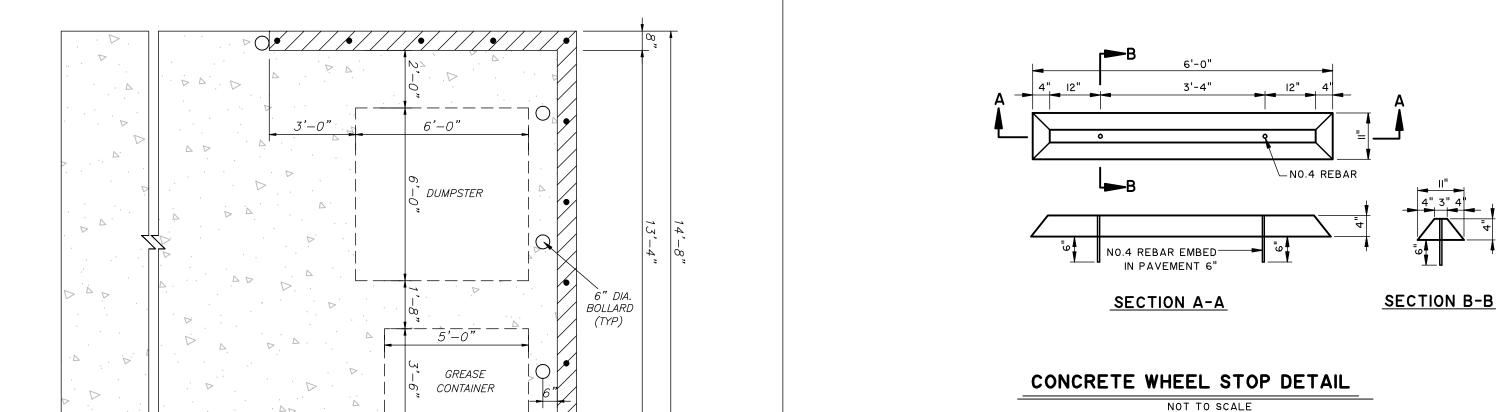


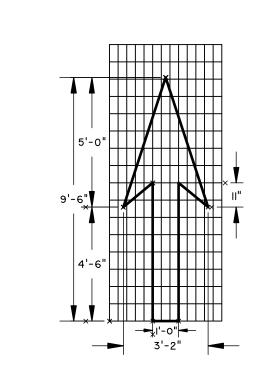


2. CURB RAMPS SHALL BE INSTALLED AT EACH INTERSECTION OR DESIGNATED CROSSWALK LOCATION AND MUST MEET THE MOST CURRENT ADA STANDARDS AND SPECIFICATIONS AT THE TIME OF CONSTRUCTION. 3. ON ACCESSIBLE ROUTES WHERE SIDEWALK IS LESS THAN 5' WIDE, PASSING SPACES AT LEAST 5'X5' SHALL BE LOCATED AT REASONABLE INTERVALS NOT TO EXCEED 200'.

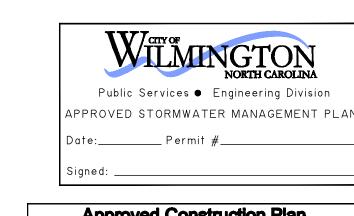
ACCESSIBLE SIDEWALK WITH THICKENED EDGE DETAIL

NOT TO SCALE



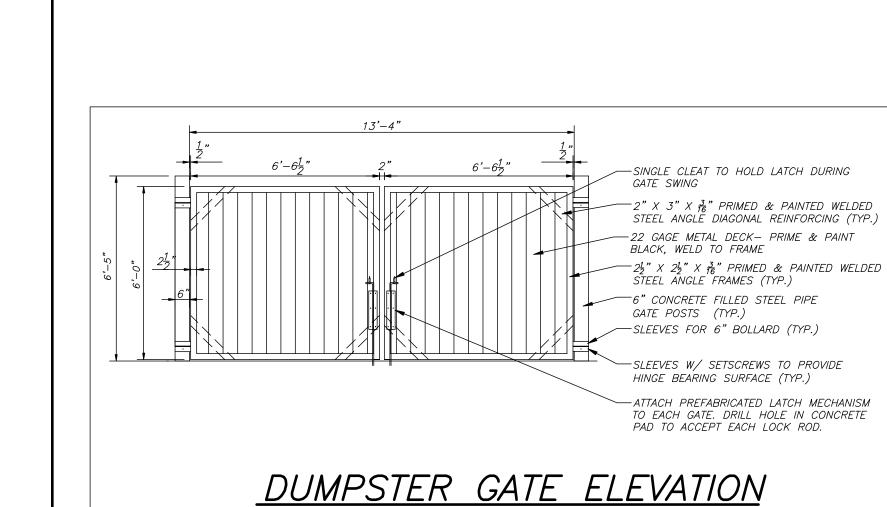






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<u>Name</u>	<u>Date</u>

WAFFLE HOUSE, —— APPROVALS	INC.
SIGNATURE	DATE
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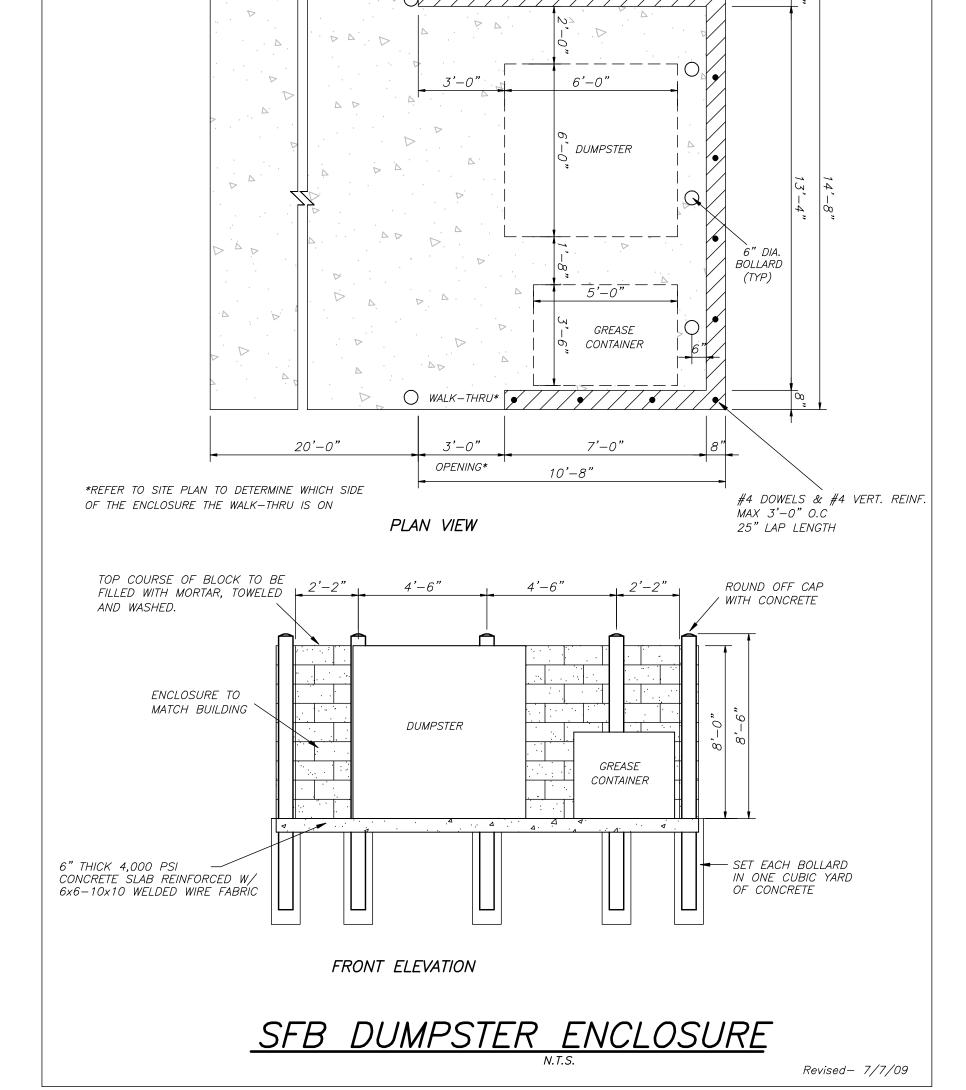
REVISED 4/9/09

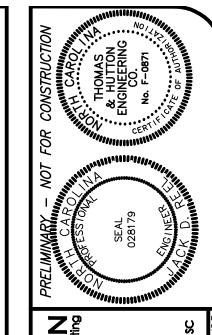
<u>PLAN</u>

SECTION A-A

CONCRETE DUMPSTER PAD

4000 PSI CONCRETE W/ 6x6-10x10 WELDED WIRE FABRIC





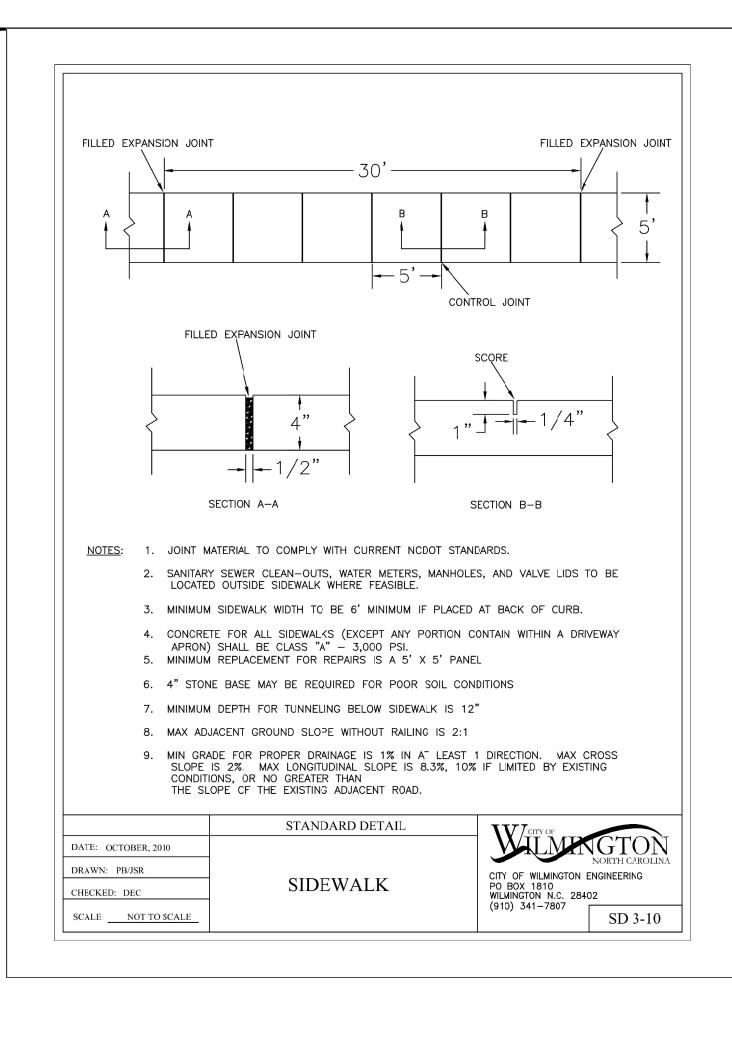
PROJECT NAME: WAFFLE HOUSE

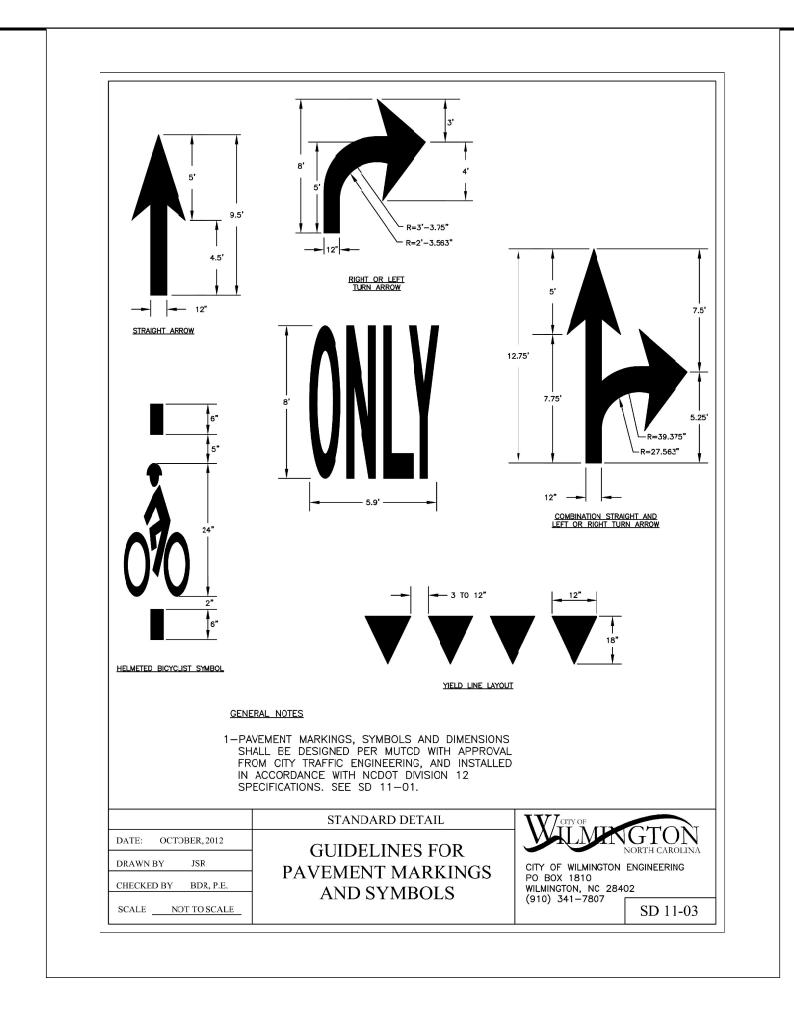
UNIT #____ 2448 CAROLINA BEACH ROAD LAND LOT XXX CITY OF WILMINGTON NEW HANOVER COUNTY, NC

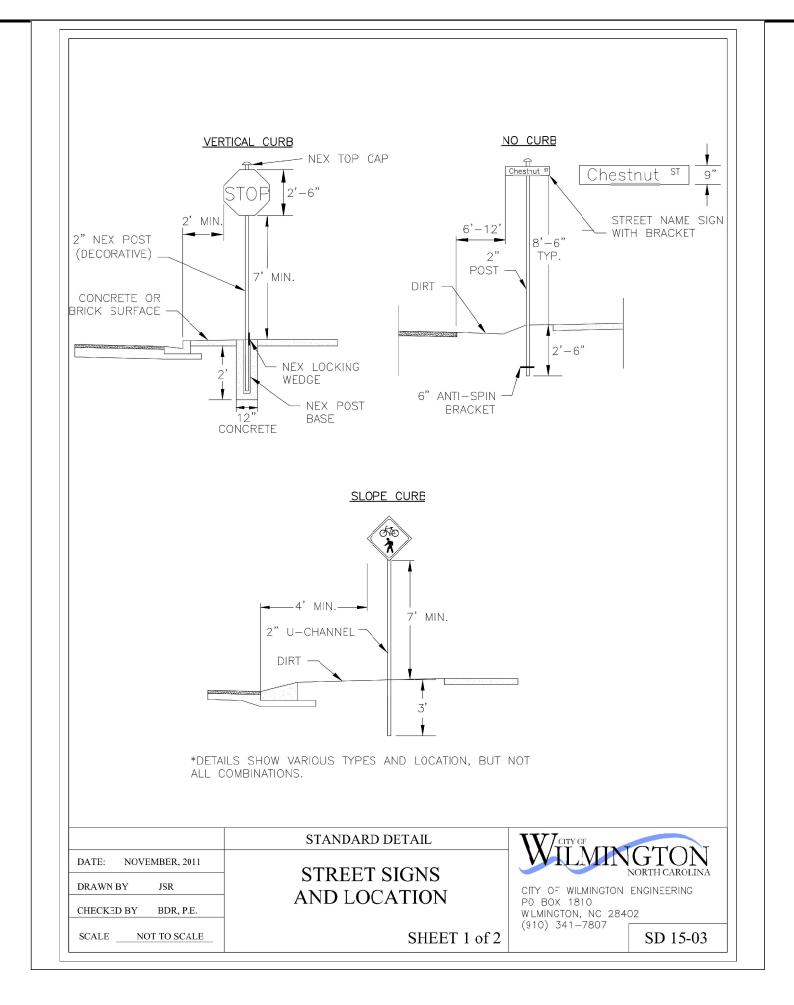
DETAILS

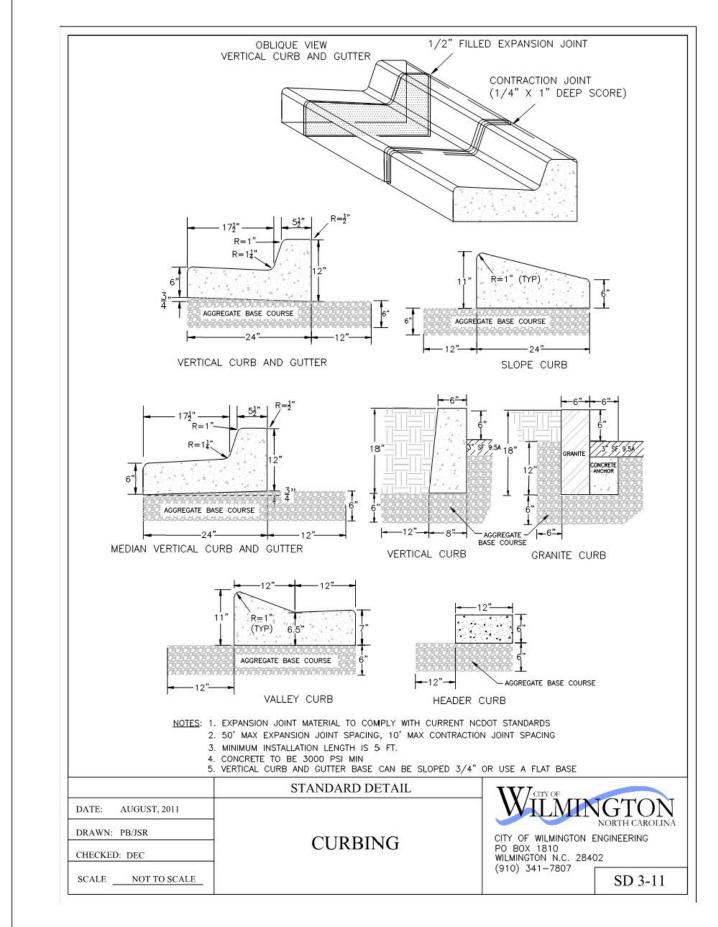
WAFXXX 06/22/13

ISSUE NO. 1









SHALL BE A SQUARE GRID, EQUAL IN BOTH DIRECTIONS. DOMES SHALL BE ALIGNED IN THE DIRECTION OF THE PEDESTRIAN TRAVEL AND DIRECTED TOWARD RAMP ON OPPOSITE SIDE OF

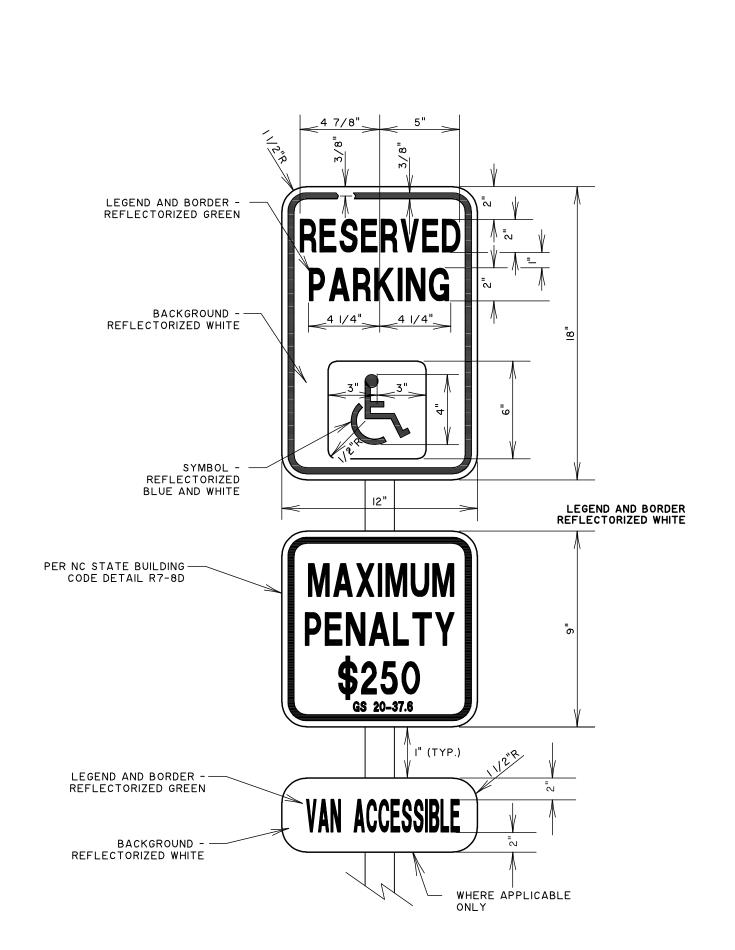
2.35"

4' MIN. OR RAMP/LANDING WIDTH

THE STREET.

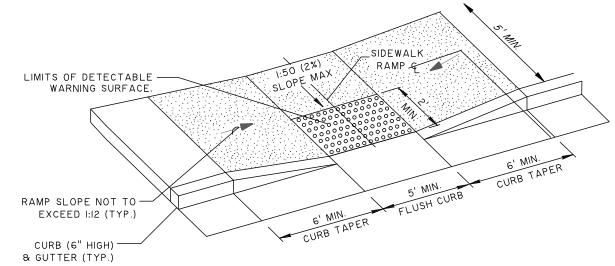
MAY VARY

0.45" TO 0.6"



HANDICAPPED PARKING SIGN

NOT TO SCALE

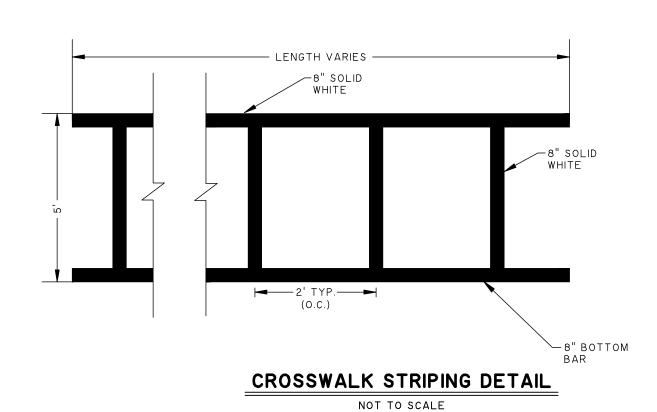


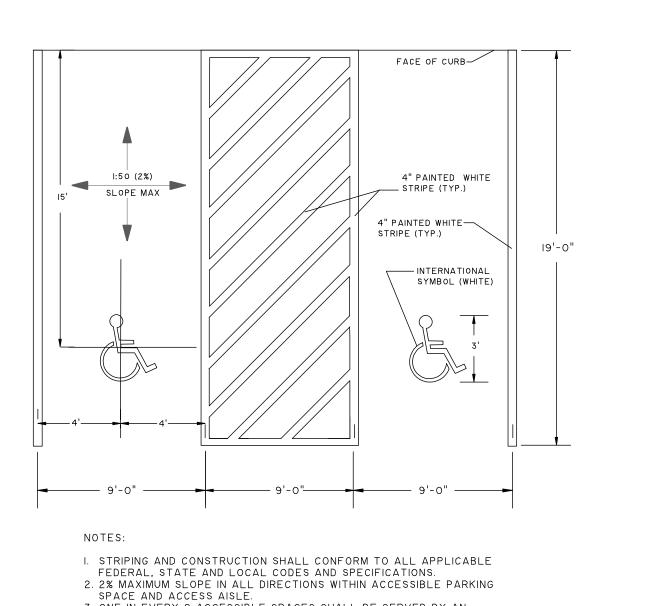
ISOMETRIC VIEW OF RAMP

- I. CONSTRUCTION OF ACCESSIBLE CURB RAMP SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
- 2. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%)
- 3. CURB RAMP SHALL HAVE A DETECTABLE WARNING THAT EXTENDS THE FULL WIDTH OF CURB RAMP. SEE DETECTABLE WARNING DETAIL.

CURB RAMP "TYPE B"

NOT TO SCALE

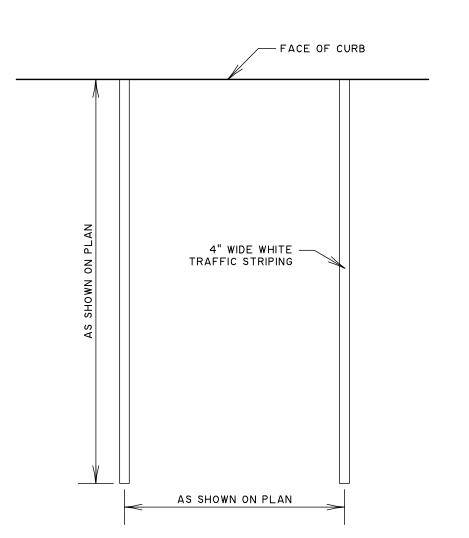




3. ONE IN EVERY 8 ACCESSIBLE SPACES SHALL BE SERVED BY AN 8' WIDE ACCESS AISLE AND SHALL BE DESIGNATED "VAN ACCESSIBLE".

ACCESSIBLE PARKING SPACE STRIPING DETAIL

NOT TO SCALE



TYPICAL PARKING SPACE

NOT TO SCALE

North Carolina One Call Center Call Before You Dig "It's The Law" 1-800-632-4949

WAFFLE HOUSE, INC. ----- APPROVALS -----SIGNATURE

Approved Construction Plan

2.35 SI \geqslant

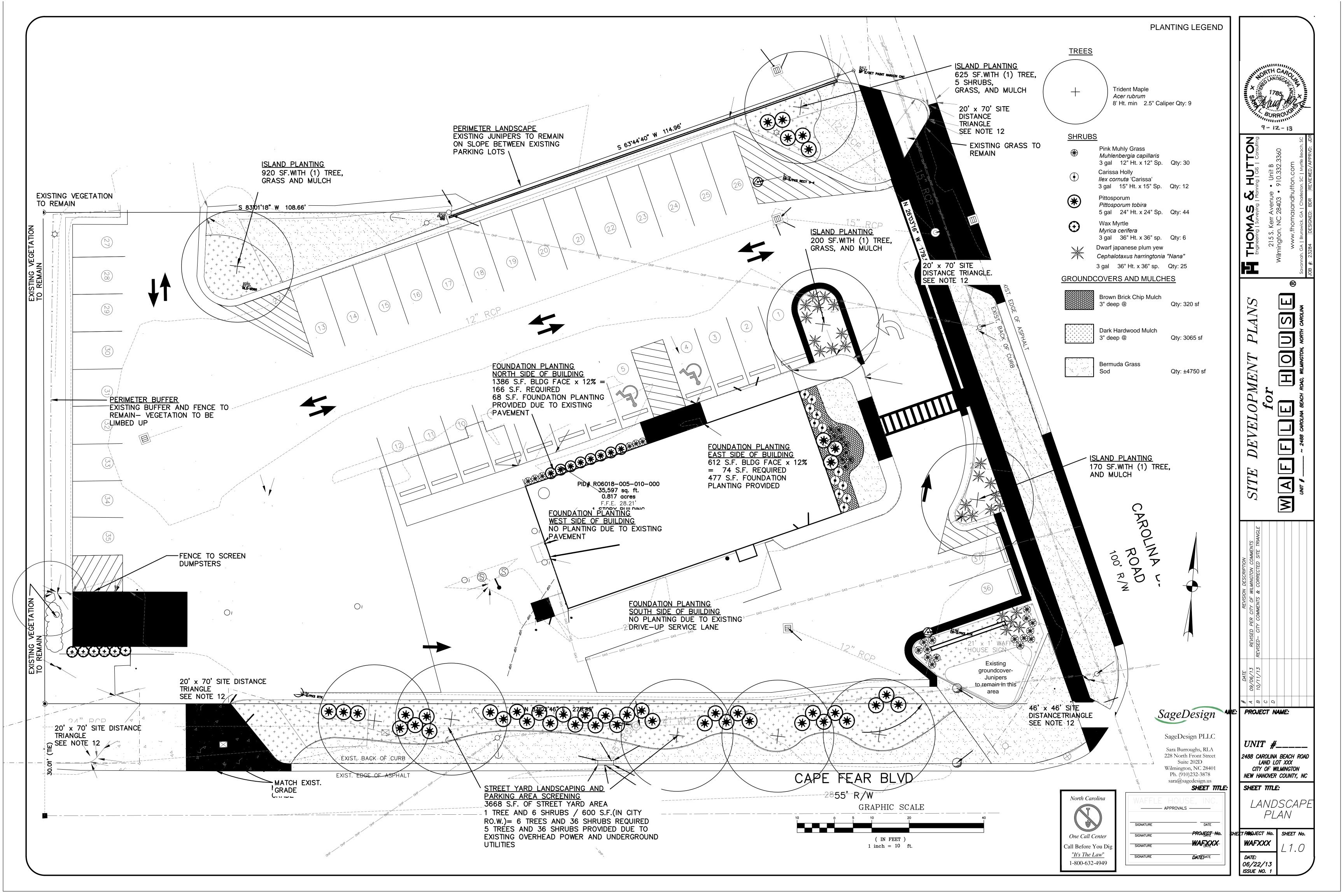
PROJECI NAME: WAFFLE HOUSE UNIT #____

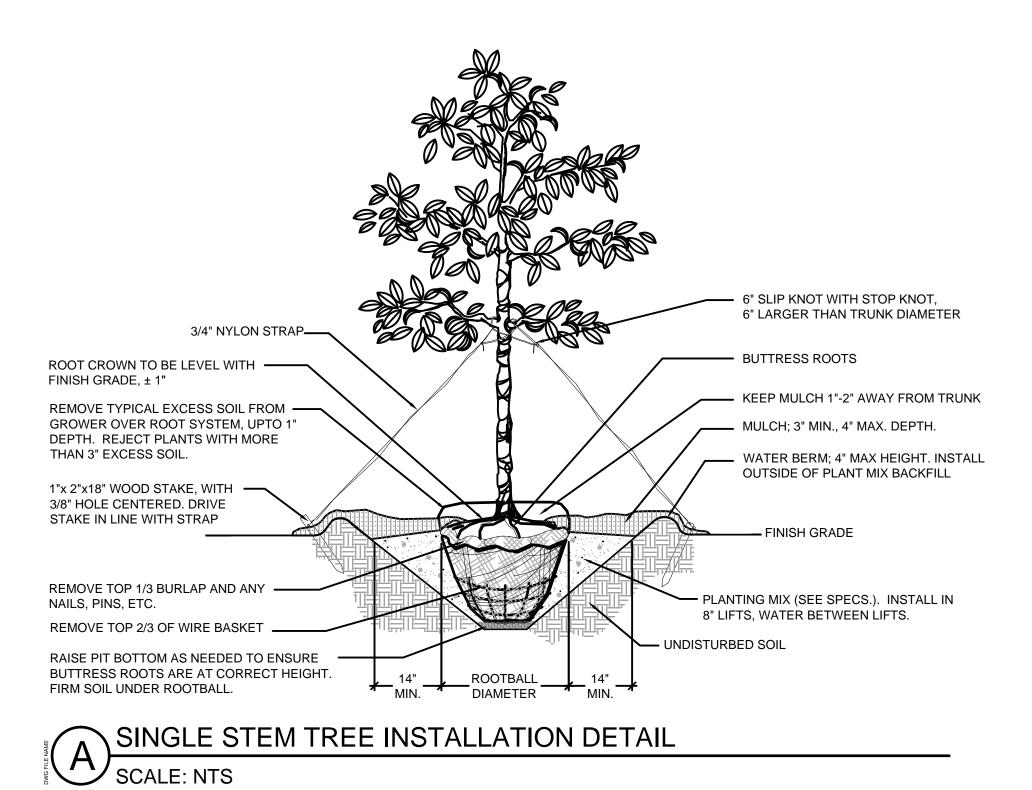
2448 CAROLINA BEACH ROAD LAND LOT XXX CITY OF WILMINGTON

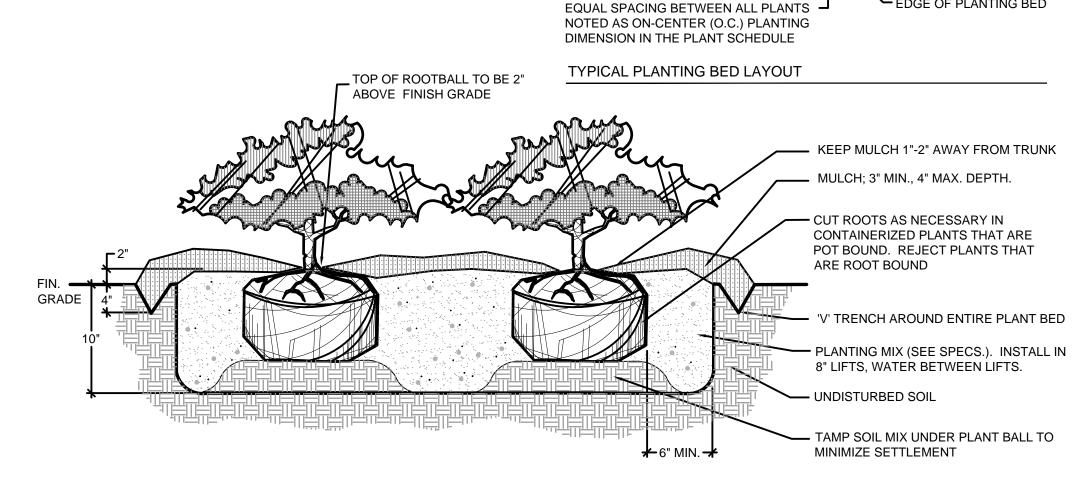
NEW HANOVER COUNTY, NC SHEET TITLE:

DETAILS

PROJECT No. SHEET No. *WAFXXX* 06/22/1 ISSUE NO.







PLANT MATERIAL NOTES

► EDGE OF PLANTING BED

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS ESTABLISHED BY 'THE AMERICAN ASSOCIATION OF NURSERYMAN".
- 2. CONTAINERIZED PLANTS SHALL HAVE A ROOT SYSTEM SUFFICIENT ENOUGH IN DEVELOPMENT TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER. THE ROOT SYSTEM SHALL NOT BE ROOT BOUND, A CONDITION WHERE THE ROOT SYSTEM IS DENSE IN MASS, EXCESSIVELY INTERTWINED, AND HAS ESTABLISHED A CIRCULAR GROWTH PATTERN.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- 4. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SHIPMENT.
- 5. ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- TOPSOIL AMENDMENTS REQUIRED FOR SOIL MIXES SHALL BE PROVIDED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR MUST LOAD, HAUL, MIX AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED ON SITE.
- 7. CONTRACTOR SHALL VERIFY AND/ OR AMEND ALL PLANTING SOILS TO ENSURE PROPER SUITABILITY INCLUDING STATE RECOMMENDED QUANTITIES OF NITROGEN. PHOSPHORUS. AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE QUALITY PLANTING SOIL FOR ALL PLANT MATERIAL TO SURVIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PLANTING PITS PERCOLATE PROPERLY PRIOR TO PLANTING INSTALLATION.
- 9. SHRUBS, BULBS, AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND/OR IN THE PLANT SCHEDULE.
- 10. THE CONTRACTOR SHALL THE VERIFY EXTENT OF SEEDING OR SOD AREA WITH OWNER REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

TREE INSTALLATION NOTES

- 1. ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI, 1990, PART 1, "SHADE AND FLOWERING TREES").
- 2. TREES SUPPLIED MUST HAVE BEEN PROPERLY PLANTED AND GROWN IN THE NURSERY. THE ROOT CROWN (ALSO CALLED THE TRUNK FLARE) SHALL BE EVIDENT NEAR THE TOP OF THE GROUND. ANY EXCESS SOIL, UP TO 3 INCHES COVERING THE CROWN WILL HAVE TO BE REMOVED CAREFULLY BY HAND, IN ORDER TO PREVENT ROOT SCRAPES. THE TREE IS THEN TO BE PLANTED WITH THE ROOT CROWN IN PROPER RELATION TO THE SURROUNDING GRADE. ANY TREES WITH MORE THAN 3 INCHES OF SOIL ON TOP OF THE ROOT CROWN WILL BE REJECTED. THE NURSERY OWNERS MAY DIG OVERSIZE BALLS AND REMOVE THE SOIL IN ORDER FOR THE ROOT SYSTEM DIAMETER (WHICH IS THE REQUIRED ROOT BALL DIAMETER) TO MEET THE SPECIFICATION FOR THE TRUNK CALIPER REQUIRED.
- 3. BALL AND BURLAPPED (B&B) PLANTS MUST HAVE FIRM, NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN RECOMMENDED IN THE "TREE AND SHRUB TRANSPLANTING MANUAL", AND BE OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.
- REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY 2/3 OF WIRE BASKET, IF ANY, AND TOP 1/3 OF
- SOAK ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
- 6. CONSTRUCT 4" HIGH SAUCER (WATER BERM) OUTSIDE OF PLANT MIX BACK FILL.
- 7. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- 8. NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER REPRESENTATIVE EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING
- 9. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PROPOSED TREES AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- 10. ALL TREES SHALL BE STAKED AT TIME OF INSTALLATION IN ACCORDANCE WITH PLANTING DETAILS.
- 11. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- 12. STAKES FOR TREE SUPPORT SHALL BE CONSTRUCTED OF 2"x2" x18" UNTREATED PINE. GUYING FABRIC SHALL BE 'ARBOR TAPE', AS MANUFACTURED BY NEPTCO, PAWTUCKET, RI. (401) 722-5500 (OR APPROVED EQUAL). COLOR SHALL BE OLIVE DRAB.

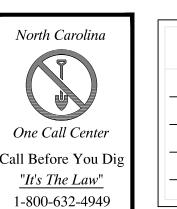
SHRUB INSTALLATION NOTES

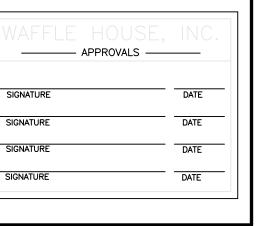
- 1. CUT ROOTS AS NECESSARY IN CONTAINERIZED PLANTS THAT ARE POT BOUND. REJECT PLANTS THAT HAVE GIRDLED ROOT OR ARE BOUND.
- 2. INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
- 3. TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL.
- 4. SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.

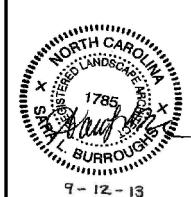


SageDesign PLLC

Sara Burroughs, RLA 228 North Front Street Suite 202D Wilmington, NC 28401 Ph. (910)232-3878 sara@sagedesign.us







0 **OPMENT**

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PROJECT NAME:

UNIT #____ 2488 CAROLINA BEACH ROAD LAND LOT XXX CITY OF WILMINGTON

NEW HANOVER COUNTY, NC SHEET TITLE:

LANDSCAPE DETAILS

PROJECT No. | SHEET No. WAFXXX

DATE: 06/22/13 ISSUE NO.